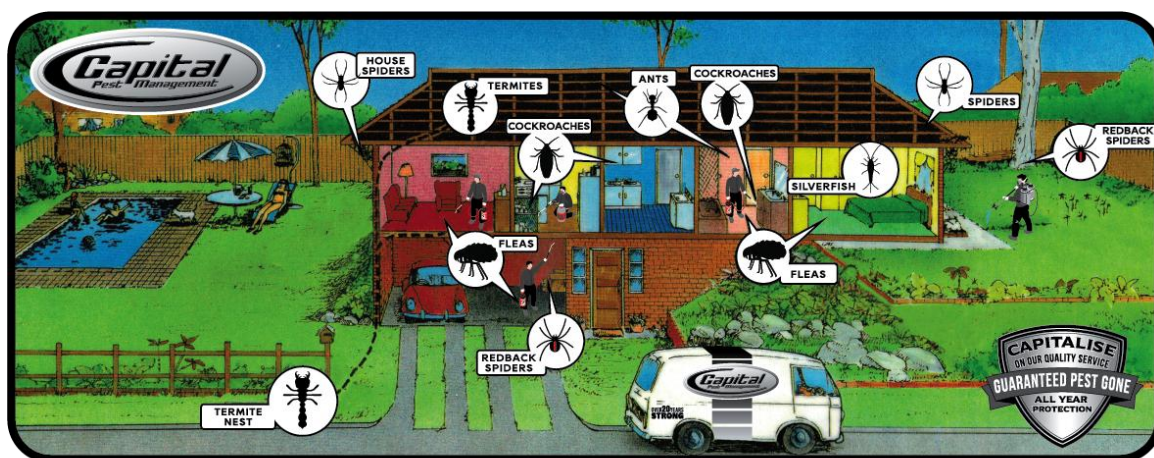




PHONE: 07 5598 6681  
FAX: 07 5598 6295  
admin@capitalpest.com.au  
capitalpestmanagement.com.au

We would like to Thank You for Choosing Capital Pest Management to carry out your Timber Pest Inspection.

We would like to wish you the very best with your new purchase and we will be in touch in 12 months' time in regard to your Regular Annual Termite Inspection. We would also like to take this opportunity to offer you our services to rid your future home of household pests before you move in. By carrying out this treatment while the property is vacant allows a more thorough treatment and without any inconvenience to yourself. Allowing you to move into your home knowing it is free of household pests.



Complete protections for your home and surrounding grounds by your local Capital Pest Technician.

Cockroaches and Silverfish  
Household ants  
External webbing spiders

Take advantage of our Discount Price for the General Pest Control Treatment before you move in

**12 Months Free Service Warranty**

**All of the above for only  
\$330.00 Including GST**

(For normal size home-conditions apply)

Call Alex or Natasha on 07 5598 6681 to arrange a convenient time and day.



PHONE: 07 5598 6681  
FAX: 07 5598 6295  
admin@capitalpest.com.au  
capitalpestmanagement.com.au

# STANDARD VISUAL TIMBER PEST DETECTION REPORT

IN ACCORD WITH AS4349.3-2010



## CLIENT DETAILS AND PROPERTY INSPECTED

**Date of Inspection:** 25 February 2025

**Address of Property Inspected:** 100 Winders Place Banora Point NSW 2486

**Name of Client:** [REDACTED]

**Client Email Address:** [REDACTED]

**Contact Phone:** [REDACTED]

**Time of Inspection:** 1.30 PM

**OVER 20 YEARS  
STRONG**

  give us a follow  
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## Standard Visual Timber Pest Detection Report Continued...

**Life of Report:** This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential.

### The Purpose of the Inspection:

The purpose of the inspection is to give advice about the condition of the property with regard to timber pests.

**Agreement Number:** 19881/2025

**Date of Agreement:** 25 February 2025

**Specific Requirements/Conditions Required by You were:** Complete Pre-Purchase Pest Inspection

This inspection, unless specified in section "Inspection Method", is for a visual assessment of evidence indicating activity, damage and/or workings of the following timber pests:-

- Subterranean Termites:** The group of wood destroying insects belonging to the order "Isoptera" which is defined as being of a species which is Subterranean.
- Wood Decay Fungi:** The degradation of timber caused by decay fungi.
- Beetles that attack timber in service (Borers):** The group of wood destroying insects belonging to the order "Coleoptera".
- Dampwood Termites:** The group of wood destroying insects belonging to the order "Isoptera" which is defined as being of a species which is Dampwood.

## INSPECTION METHOD

This Inspection and Report was conducted using the method as indicated below.

**A VISUAL ONLY Inspection:** This means that the inspection is only to the readily accessible areas of the property as defined within the signed Timber Pest Inspection Agreement and terms and conditions of this report.

Upon receipt of this report, the Client acknowledges and agrees that Capital Pest Management has been engaged to undertake a timber pest inspection and prepare a report on this inspection, subject to the terms and conditions as set out and defined within this report document.

### Tools and Equipment

During this inspection, the following non-invasive tools and equipment were used for measurement and assessment:

<u>Device</u>	<u>Brand</u>	<u>Model</u>
<input checked="" type="checkbox"/> Moisture Meter	Tramex	
<input checked="" type="checkbox"/> Sounder	Probe	
<input type="checkbox"/> Movement Detector	Termatrac®	T3i



## Standard Visual Timber Pest Detection Report Continued...

### SUMMARY OF INSPECTION FINDINGS

#### Important Disclaimer

- This Summary of Inspection Findings must be read in conjunction with **THE FULL REPORT**. If a difference exists between the Summary of Inspection Findings and the Report, the **REPORT WILL AT ALL TIMES PREVAIL OVER** the Summary of Inspection Findings.
- This summary is supplied to allow a quick and superficial overview of the inspection results.
- This summary is NOT the REPORT and cannot be relied upon on its own.
- This summary must be read in conjunction with the full report and not in isolation from the report.
- The Report is subject to conditions and limitations. Your attention is particularly drawn to the Clauses, Disclaimer of Liability to Third Parties, Limited Liability to a Purchaser within the Australian Capital Territory and to the Notice to the Purchaser at the back of the report.

A. SUBTERRANEAN TERMITES	
Were active Subterranean Termites (Live Specimens) found?	<b>NO</b>
Was visible evidence of Subterranean Termite workings and damage found?	<b>NO</b>
B. BORERS OF SEASONED TIMBERS	
Was visible evidence of borers of seasoned timber found?	<b>NO</b>
C. WOOD DECAY FUNGI	
Was visible evidence of damage caused by wood decay fungi found?	<b>YES. See section C of this report</b>
D. CONDITIONS CONDUCIVE TO TIMBER PESTS	
Were there any conditions conducive to timber pests?	<b>YES. See section D of this report</b>
E. OVERALL ASSESSMENT OF THE PROPERTY	
In our opinion, the degree of risk of Subterranean Termite infestation to the property at the time of inspection was considered to be:	<b>MODERATE TO HIGH</b>
F. RECOMMENDATIONS	
The need for a termite management system (Treated Zone, Barrier System, Monitoring & Baiting System) to be installed at this property is:	<b>RECOMMENDED</b>
G. SAFETY HAZARDS	
Were major safety hazards due to timber pest activity observed?	<b>NO</b>

**For complete and accurate information, You must refer to the following Complete Visual Timber Pest Report.**

**Important:** We strongly recommend the purchaser make inquiry from the vendor about Timber Pests and in particular Termites for this property.

### DESCRIPTION OF STRUCTURE/S INSPECTED

#### Brief General Description of Main Structure and Property

<b>Construction Type:</b>	Single storey structure. Concrete slab on ground.
<b>Wall Structure:</b>	Brick veneer and fibro sheeting with timber frame.
<b>Roof Structure:</b>	Concrete tiled roof. Pine truss roof frame.

#### At The Time Of Inspection The Property Was:

Unoccupied and partially furnished.

Please Note: Where a property is furnished at the time of inspection then you must understand that the furnishings and stored goods may be concealing evidence of Timber Pest Activity. This evidence may only be revealed when the property is vacated. A further inspection of the property is strongly recommended in this case.



## Standard Visual Timber Pest Detection Report Continued...

### Orientation:

To establish the way in which the property was viewed.

### The façade of the building faces:

North – West.

**Note:** For the purpose of this report the façade of the building contains the main entrance door.

### Weather Conditions At Time of Inspection:

### Weather Conditions at the time of the inspection:

Fine.

## ACCESSIBILITY

### 1. Readily Accessible Areas Inspected:

The inspection covered the readily accessible areas including:

Building interior; Building exterior; Roof space; Gardens.

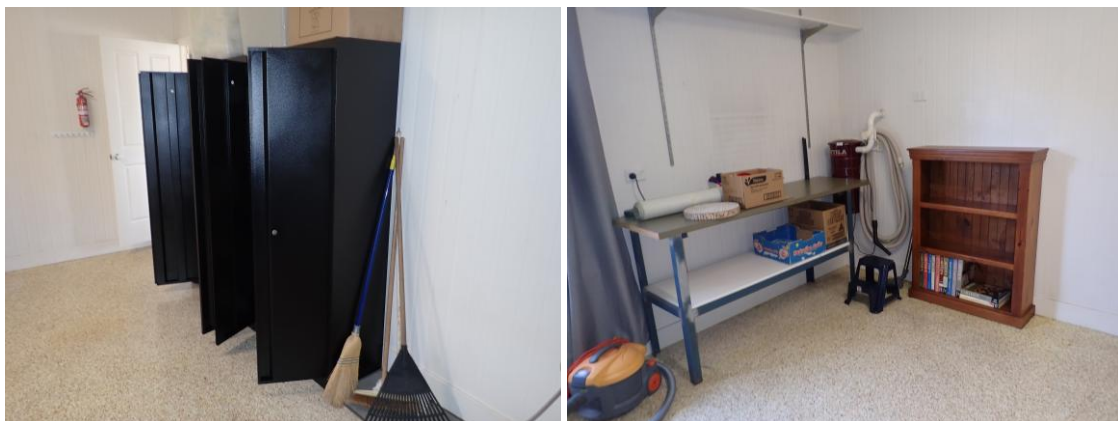
### 2. Other Structures:

Metal garden sheds; Pergola; Timber embedded in soil; Fence and/or trees within 50m of the structure but within the property boundaries were inspected. If a building or part of a building, is constructed on a concrete slab it is always more susceptible to concealed termite entry.

### 3. Obstructions and Inaccessible Areas: (Refer to Terms and Conditions)

No inspection was made, and no report is submitted, of inaccessible areas.

- No access to wall cavities due to fixed wall coverings.
- Floor coverings.
- No access to areas under kitchen cupboards, vanities and any fixed cupboards or bathtub.
- No physical access to roof space eaves due to design.
- General furnishings, stored and personal items against internal walls present and restrict inspection within these areas, pest activity and or damage and building defects may be present behind household furnishings.
- Stored items in cupboards and wardrobes.
- Presence of window furnishings restricted access to windows and reveals.
- Visual inspection was obstructed and restricted in the garage due to stored items.



## Standard Visual Timber Pest Detection Report Continued...

- Thermal insulation in the roof space obscured top plates of the wall frames and the bottom cords of the trusses for inspection. This may conceal evidence of termite infestation and/or damage. Removal of the insulation is not within the scope of this report.



- Sarking blanket obscured timber roof battens for inspection.
- Dense vegetation obscured timber paling fence for inspection in areas.



- Restricted access to some areas in roof space for inspection due to roof configuration and design.

### 4. High Risk Area/s To Which Access Should Be Gained, Or Fully Gained, Since They May Show Evidence Of Timber Pests Or Damage:

**Note:** These include, but may not be limited to, concealed frame timbers, eaves, areas concealed by concrete floors, wall linings, soil, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts, etc. Furnishings, furniture and stored items were not inspected.

**Note:** It should be understood that any area reported above as being inaccessible may harbour an active infestation and/ or some degree of hidden damage of a wood destroying organism. If any area, which has been reported as inaccessible, is made accessible, Capital Pest Management should be contacted for another inspection.

**A. SUBTERRANEAN TERMITES**

The following information is based on a visual assessment of the readily accessible areas of the structure/s listed in Section: Accessibility. Any options and/or recommendations for treatment and/or management of timber pests will be listed within Section F of this report. Read all terms and conditions for important information regarding Scope and Limitations of this inspection and report.

*Subterranean Termites are defined as the group of termite species that make tunnels through the ground to reach a source of food, which in some cases may be considerable distance from the nest. The most usual location for this group to nest is underground or in concealed areas such as the trunk of a tree, root, crown of a tree, or at the base of timber in ground contact such as retaining walls, etc. However, included in this group are mound building species and arboreal nesting species (nesting above the ground usually high up in trees). They have large populous colonies sometimes numbering in the hundreds of thousands of individuals.*

*The group of subterranean termites contains the main pest species of buildings, causing a considerable amount of economic damage to timber in service and susceptible building elements.*

<b>A.1 - Were active (Live Specimens) Termites present at the time of inspection?</b>	<b>NO</b>
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No signs of subterranean termite activity was found at the time of our inspection.

<b>A.2 - Was a Termite nest located?</b>	<b>NO</b>
--	-----------

A Termite nest was found in the following locations:  
 Trees on the property have been inspected up to a height of 2m where possible and practicable, for evidence of Termite activity. It is very difficult, and generally impossible to locate Termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of Termite nests.

<b>A.3 - Was visible evidence of subterranean termite workings or damage found?</b>	<b>NO</b>
---	-----------

**Indicate the location of all accessible timbers and other materials showing signs of attack, and a description of any termite workings found:**

While we are not builders, the termite damage appears to be:

**Note:** *Where visible evidence of damage caused by subterranean termites is reported, a brief description of the observed damage will be given (S: slight M: moderate M-E: moderate to extensive E: extensive). This is only an assessment of the observed damage. The inspector's training and experience does not qualify the inspector in damage evaluation or any other building construction technology and/or repair. **It should also be noted that some degree of damage, including hidden damage, might be present. This inspection is only an assessment of visible subterranean termite damage. In some cases the evidence may not be apparent until significant damage has occurred.***

**Where damage is detected, the potential for further no-visual (concealed) damage associated with the termite workings and damage found is always high.**

If no evidence of termites was found at this inspection **be aware** that at the initial stages of a termite attack there is often no evidence that an attack has commenced, such evidence may only become apparent sometime after the attack has commenced. As the inspection can only report details of what was found on the day of the inspection, we strongly recommend that if you find evidence of new termite workings or damage prior to the next recommended inspection you should contact our company immediately.



**Very Important:**

If live termites or any evidence of termite workings or damage was reported above within the building(s) or in the ground and fences, then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out such as when wall linings, cladding or insulation are removed or if you arrange for an invasive inspection. We claim no expertise in structural engineering or building. We strongly recommend that you have a qualified person such as a Builder, Engineer, Architect or other qualified expert in the building trade determine the full extent of the damage, if any. This may require an invasive inspection. We take no responsibility for the repair of any damage whether disclosed by this report or not. (See Terms and Limitations).

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of inspection, you must realise that **it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without benefit of further investigation and a number of inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of inspection due to a prior disturbance, climate conditions, or they may have been utilising an alternative feeding source. Continued, regular inspections are essential.** Unless written evidence of a termite protection program in accord with "Australian Standard 3660" with ongoing inspections is provided, you must arrange for a treatment in accord with Australian Standard 3660 to be carried out immediately to reduce the risk of further attack.

**General remarks:** A more thorough INVASIVE INSPECTION is available (refer to Terms and Conditions). Where any current visible evidence of Timber Pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees and stumps on the property with a diameter more than 100mm have been visually inspected for evidence of termite activity to a height of 2m where access was possible and practical. It is very difficult, and often impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

**If this Report is for Pre-Purchase purposes and a recommendation for a more invasive inspection has been made, the inspection should be arranged and carried out prior to contracts becoming binding.**

**Note:** Where evidence of termite activity was found in the grounds then the risk to buildings is very high. A treatment to eradicate the termites and to protect the building(s) should be carried out. Where the evidence of termite workings was found in the grounds or the building(s) then the risk of a further attack is very high.

<b>A.4 - Was Any Evidence Of Timber Damage Visible?</b>	<b>NO</b>
---	-----------

We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms and Limitations).

**Note:** It must be understood that due to the biology and habits of subterranean termites, the status and situation of the property and buildings inspected may change at any time. It is possible that subterranean termite infestation and attack can occur in as little as 24 hours after the time of the inspection. It is important that you consider options for the management of your property from the attack of subterranean termites.



## Standard Visual Timber Pest Detection Report Continued...

This document is not a structural report and accordingly, if it reveals evidence of termite infestation and/or damage, it is recommended that a competent inspection by a structural engineer, architect, building consultant or a qualified and licensed building contractor be obtained as soon as possible to determine the extent of any damage.

### A.5 - Termite Shields (Ant Caps)

In buildings supported by piers or stumps, termite shields are placed between the pier/stump and the bearer. The termite shields must be in good order and condition so termite mud tubs will be exposed and visible. This helps stop termites gaining undetected entry. Joins in the shielding should have been soldered during the installation. Whenever it is observed that the joins in the shielding have not been soldered then the shielding must be reported as inadequate. It may be possible for a builder to repair the shielding. If not, a chemical treated zone may need to be installed to deter termites from gaining concealed access to the building. Missing, damaged or poor shields increase the risk of termite infestation. Due to some construction designs we may not be able to visibly see the entire surface area of the termite shields. This report provides comment on the visible area(s) of the termite shields only.

We claim no expertise in building. However, in our opinion the termite shields appear to be:

Not applicable

### A.6 - Previous Termite Management Program

YES

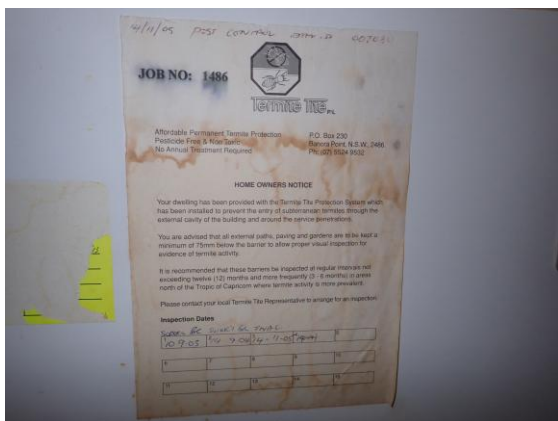
Was there evidence of any previous treatment for the management of timber pests to this property?

YES

#### Evidence Details:

Termite Tite termite protection notice affixed in meter box and kitchen sink cupboard (Service penetrations and external cavity).

**Installation documentation should be requested from vendor and warranty details read carefully and any associated inspection reports should be requested from vendor.**



**Warning:** If evidence of drill holes in concrete or brickwork or other signs of a possible previous treatment are reported then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive inspection carried out and have a builder determine the full extent of any damage and the estimated cost of repairs as the damage may only be found when wall linings etc., are removed.

## Standard Visual Timber Pest Detection Report Continued...

**Please Note:** This firm can give no assurance with regard to work that may have been previously performed by other firms. The firm that treated the property must be contacted for treatment documents and warranty details to be read carefully. In many cases retreatment may be required.

**A.7 - Was any person from the following list aware of any history in regards to timber pest activity, management, treatment, etc., to this property?**

**Knowledge of History Reported By:** Unable to contact

**Details of History:**

### B. BORERS OF SEASONED TIMBERS

**1. Was visible evidence of Borers found?**

**No evidence located**

If any evidence of borer is located, careful attention to these main points should be considered before deciding upon the best course of management.

1. The identification of the particular borer responsible; its biology and potential to cause further damage and/or ability to re-infest.
2. The current status of the infestation i.e. is the affected area still active?
3. The extent and degree of the damage.

**Brief details and location of borer evidence:**

No signs or borer activity or borer damage was found at the time of our inspection.

While we are not builders, the borer damage appears to be:

**Note:** Where visible evidence of damage caused by borers is reported, a brief description of the observed damage will be given (**S:** slight **M:** moderate **M-E:** moderate to extensive **E:** extensive). This is only an assessment of the observed damage. The inspector's training and experience does not qualify the inspector in damage evaluation or any other building construction technology and/or repair. **It should also be noted that some degree of damage, including hidden damage, might be present. This inspection is only an assessment of visible bored damage. In some cases the evidence may not be apparent until significant damage has occurred.**

This document is not a structural report and accordingly, if it reveals evidence of borer infestation and/or damage, it is recommended that a competent inspection by a structural engineer, architect, building consultant or a qualified and licensed building contractor be obtained as soon as possible to determine the extent of any damage.

If any evidence of borer is located, careful attention to these main points should be considered before deciding upon the best course of management.

- The identification of the particular borer responsible; its biology and potential to cause further damage and/or ability to re-infest.
- The current status of the infestation i.e. is the affected area still active?
- The extent and degree of the damage.



## Standard Visual Timber Pest Detection Report Continued...

**Beetles that attack Timber in Service (Borers):** Borers are the larvae of various species of beetles. Adult beetles lay their eggs within the timber. These eggs hatch into larvae that bore through the timber and may cause considerable damage to the infected timber. Depending upon the species and the climatic conditions, the larvae might inhabit the timber for several years before passing on to the next stage of development. This development will involve the larvae entering into a dormant pupal stage, during which time they will transform into the adult beetle. Upon this transformation the adult beetle will excavate a hole through the timber to the surface, where it will mate and lay eggs. As an attack of borers proceeds, the borer larvae eat through the wood leaving a dust called "frass". Ejection of this frass occurs through the adult beetle's flight (exit) holes and it is usually present beneath any timber that has been attacked. Borer larvae cannot be sighted unless the susceptible timber is broken open.

**Note:** As a delay may exist between the time of an attack and the appearance of telltale signs associated with borer infestation, it is possible that borer activity and damage exists, though not visible at the time of inspection.

**Note:** Some families of green timber borers infest trees during the growing and/or processing stages. Some families such as pinhole borers, wood wasps and wood moths usually emerge or die before the logs are milled, however, longicorn beetles and auger beetles can occasionally survive the timber milling process and pupate for up to 12 months before emerging as adults. Jewell beetles also occasionally survive the milling process and the larvae remains active when the timber is fixed in place during the construction phase of a building, only to pupate and emerge as adults sometimes up to 40 years later. The important point to realise is that none of the green tree borers listed in this note can re-infest timber in service.

**Borer recommendations:** Replacement of all susceptible timbers is always preferred since, in the event of selling the property in the future it is probable that an inspector will report the borers as active (see above). A chemical treatment to control and/or protect against Furniture Beetle and/or Queensland Pine Beetle can be considered as a less effective, lower cost option. Before considering this option you should consult with a builder (See Terms and Limitations) to determine if the timbers are structurally sound. Following the initial treatment a further inspection is essential in twelve months time to determine if further treatment is needed. Treatments over a number of consecutive years may be required.

### C. WOOD DECAY FUNGI

<b>1. Was evidence of Wood Decay Fungi (wood rot) found?</b>
--

<b>YES</b>
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#### Details and location of visible wood decay fungi:

Visible evidence of fungal wood decay was located to:

External timber members including timber paling fence in areas.

(Normal for the age of the structure). It is recommended that these timbers be replaced to prevent further damage to adjoining timbers. Fungal decay may be present in concealed areas behind wet areas that can only be located by the removal of wall linings.



While we are not builders the fungal decay damage appears to be: S

**Note:** Where visible evidence of damage caused by wood decay fungi is reported, a brief description of the observed damage will be given (**S:** slight **M:** moderate **M-E:** moderate to extensive **E:** extensive). This is only an assessment of the observed damage. The inspector's training and experience does not qualify the inspector in damage evaluation or any other building construction technology and/or repair. **It should also be noted that some degree of damage, including hidden damage, might be present.**

This document is not a structural report and accordingly, if it reveals evidence of timber pest infestation and/or damage, it is recommended that a competent inspection by a structural engineer, architect, building consultant or a qualified and licensed building contractor be obtained as soon as possible to determine the extent of any damage.

Wood Decay Fungi: destroys the structural properties of timber in poorly ventilated areas, timber in contact with moisture, and/or timber in contact with the soil. Wood decay fungi can cause structural failure of the affected timber or just superficial surface damage. Not all fungi are capable of damaging timber and not all fungi that grows on or in wood are capable of damaging the wood structure itself.

This inspection is only an assessment of visible wood decay fungi. In some cases the evidence of decay may not be apparent until significant decay has occurred.

We claim no expertise in building and if any evidence of fungal decay or damage is reported you should consult a building expert to determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms and Limitations).

### D. CONDITIONS CONDUCIVE TO TIMBER PEST ATTACK

There are many situations in and around your property that may create an environment that is conducive to and allows for concealed infestation of subterranean termites and other pests of timber. It is an important part of any management plan that these situations are either rectified and/or inspected/monitored on a regular basis.

**The following is a list of common situations that may occur at properties.** Awareness in conjunction with rectification of these situations will help in reducing the risk to buildings of subterranean termite attack as well as improving the ease of inspection to buildings for the presence of subterranean termites and other timber pests.

1. **Storage Practice:** All areas of the subfloor and/or external perimeter of the structure should be kept clear of stored items. Any item/s stored within the property's boundaries, especially those containing cellulose such as timber, cardboard, paper, etc., must be stored in a safe manner that allows clear access for inspection and does not bridge, breach or disturb any part of the installed subterranean termite barriers. Any items stored in subfloor areas must not provide accessible food for termites or hidden paths for termite entry and must not reduce effective ventilation.
2. **Debris Timbers:** Timber offcuts, form timbers, etc., existing in subfloor and perimeter areas of the structure provide an attractive food source and nesting site for subterranean termites and pose an unnecessary risk. These situations must be remedied as soon as possible by removal of these items from subfloor and external areas.
3. **Dead Trees and Stumps:** Dead trees and/or stumps are favoured nesting sites for subterranean termites and must be removed as they pose an unnecessary risk to the structure. Treatment may be conducted to these areas and is highly recommended prior to removal, if subterranean termite activity is located. However, this treatment offers no protection from future/further subterranean termite activity.

4. **Soil Levels:** Where the finished level of paths, pavers, soil, garden beds, etc., are built up above the flooring, subfloor level or wall vents, an environment conducive to subterranean termite entry is created. Lowering soil levels, pavers, paths and garden beds at least 75mm below weep holes/wall vents against the structure can help to avoid this situation. It is important to consider environmental rectification, the installation of an effective termiticide barrier where practical and/or an increased inspection frequency to these areas.
5. **Ventilation:** Substandard ventilation in the subfloor areas of a structure result in high humidity and a moisture rich environment. Wood decay fungi and subterranean termites thrive in these conditions. Strong airflow by natural or artificial means may aid in reducing temperature and humidity in the subfloor area resulting in evaporation of soil moisture.
6. **Moisture:** Moisture sources can result in unnecessary moisture accumulation which is one of the main contributing factors in subterranean termites nesting close to, or within structures, particularly in drier areas. Where moisture sources are considered inadequate a plumber, builder or other building expert should be consulted to reduce their effect on structures. Surface and ground water should be diverted away from the structure by installing appropriate drainage systems. Moisture situations may result from inadequate or poorly maintained:
  - roof drainage e.g. leaking plumbing, inadequate downpipes.
  - surface drainage e.g. poor drainage, especially in the subfloor, increases the likelihood of timber pest attack, ground sloping towards walls, raised ground levels and garden beds.
  - plumbing e.g. leaking showers, leaking water tanks, unsealed tap flanges, leaking taps cracked and perforated pipes, blocked drains and faulty connections, inadequate air conditioner and/or hot water system drainage, and leaking garden/lawn irrigation systems.
7. **Structures:** Structures such as fences, retaining walls, pergolas, etc., should be constructed using termite resistant components. Attachments to buildings such as downpipes, service pipes, attached fence posts, air conditioning units, hot water systems, etc., must have a gap of 500mm minimum at the ground contact point to allow clear and uninterrupted visual inspection. All timber posts, fence palings, house battens, etc., in ground contact must have a gap of 50mm minimum to allow clear and uninterrupted visual inspection or have an effective termiticide barrier installed where practical.
8. **Timbers Exposed to Weather and/or Waters:** Some species of timber may be used in areas for which they are not suitable. Where this occurs, the timber may be damaged by Timber Pests, in particular termites and wood decay. In most cases, these timbers may be protected with normal maintenance, e.g. regular painting. However, in some cases, you should consider replacing the timbers with a more suitable species or material.
9. **Slab Edge Exposure:** Where external concrete slab edges are not exposed there is a high risk of concealed termite entry. In some building built since July 1995 the edge of the slab forms part of the termite shield system. In these buildings an inspection zone of at least 75mm should be maintained to permit detection of termite entry. Slab edges should not be concealed by render, tiles, cladding, flashings, adjoining structures, paving, soil, turf or landscaping etc. Where this is the case you should arrange to have the slab edge exposed for inspection to confirm whether concealed termite entry is possible. Concealed termite entry may already be taking place but could not be detected at the time of the inspection. This may have resulted in concealed timber damage.

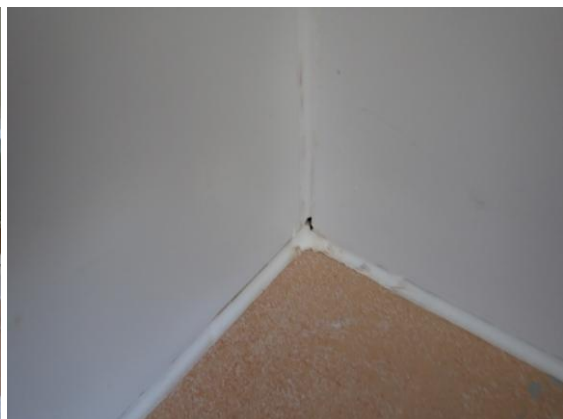
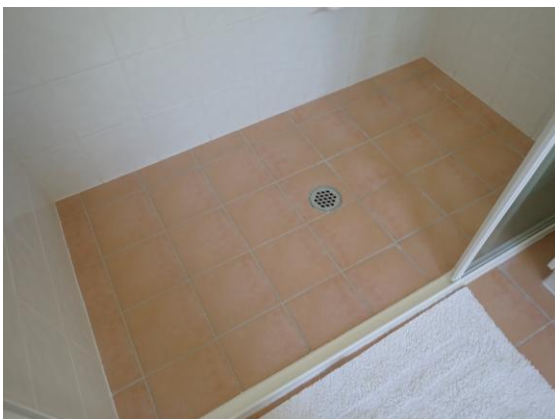
10. **Vegetation and Gardens:** General vegetation around foundation areas should be managed so that inspection areas are not impeded. Planting of trees near buildings must be avoided to limit root intrusion. Climbing plants and/or thick vegetation growing against the side of the structure will bridge or breach the subterranean termite barriers and provide subterranean termites with a well concealed entry point. These situations must be attended to as soon as possible by clearing plants away from the structure, leaving a clearance of at least 300mm out from the structure. Garden beds with coverings such as pine bark, wood chip and/or materials containing cellulose create an environment conducive to subterranean termite activity. Garden beds must not be placed nor shrubs planted against the perimeter of the building. Vegetation must be maintained so that it does not obstruct the weep holes and/or ventilation. Soil levels must be maintained at least 75mm below weepholes. **Any disturbance to soil adjacent the building where a termiticide barrier is installed must be repaired immediately. Contact Capital Pest Management for assistance.**
11. **Landscaping Materials:** Timbers used for landscaping around the perimeter areas of the structure provide an attractive food source and nesting site for subterranean termites and pose an unnecessary risk. It is highly recommended that any landscaping timbers be either termite resistant or removed. At no time should these timbers be in direct contact with the structure/s.
12. **Disturbance to treated soil areas:** If a termiticide soil barrier is installed to the property, the disturbance, adding to and/or removal of this soil will result in a break to the barrier allowing subterranean termites entry through the breach. Disturbance may be caused by tilling of soil, pets and/or children excavating soil, degradation and erosion by way of water run off, installing paving and/or concrete paths, etc. **Any suspected breach to the barrier must be investigated immediately** so that rectification to the breach can be undertaken. **Contact Capital Pest Management for assistance.**

Was any evidence of environmental conditions conducive to timber pest attack located?

YES

Brief details and location of any conducive environmental conditions:

6. Reseal ensuite shower recess wall and floor junctions immediately as it provides an ideal environment for termite activity.



## Standard Visual Timber Pest Detection Report Continued...

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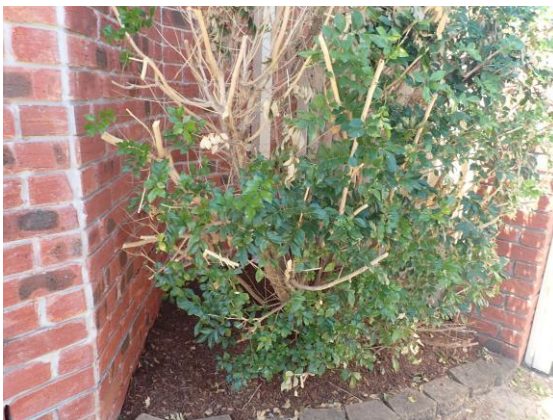
6. Leaking laundry sink plumbing pipe must be repaired and sealed immediately as it provides an ideal environment for termite activity. Contact a licensed plumber immediately.



7. Fence or fence posts are in direct contact with the building structure. This situation can allow termites to enter the structure and we recommend that suitable modifications be made so that fencing timbers are not in direct contact with the structure.



10. Trees, tree roots, vines or shrubs are close to or abutting the external walls of the structure. This can allow concealed termite entry and they should be removed immediately.



**E. OVERALL ASSESMENT OF THE PROPERTY**

**1. The degree of risk of Termite infestation:** Where the evidence of active Termites, Termite damage or Termite workings (mudding) was found in the building then the risk of a further attack is extremely high. Where evidence of live Termites Termite damage or Termite workings was found in the grounds, but not in the building, then the risk to the buildings must be reported as high to extremely high.

At the time of the inspection the degree of risk of subterranean termite infestation to the overall property was considered to be

**MODERATE TO HIGH**

**F. TIMBER PEST MANAGEMENT PLAN RECOMMENDATIONS**

*The evidence and data collected from this inspection is an aid in formulating the appropriate management options to assist in impeding concealed subterranean termite infestation as well as detecting any other infestation of timber pest. It is essential that the owner of the property takes immediate action to treat, rectify and manage any destructive timber pest activity/damage identified in this report. It is also essential that action is taken to remove, rectify and manage any areas that were identified as conducive to timber pest activity. Very serious consideration must also be given to additional inspections of areas of high risk and those areas marked as obstructed and inaccessible.*

- A Termite management program (treated zone, barrier system or termite monitoring and baiting system) in accordance with AS 3660.2-2017 to protect against Termite infestation at this property is **RECOMMENDED**.
- Further investigation for concealed timber pest activity and timber pest damage is recommended in addition to other proposals and the further investigation should be acted upon immediately.

**Options and an estimate of costs for the establishment and/or maintenance of a property management plan to this property:**

- Has been attached to this report (see proposal number).
- Are available upon request. Please contact Capital Pest Management if you require information on options for the management of subterranean termites and/or other pests.

**G. SAFETY HAZARDS**

**1. Was there evidence of major safety hazards due to timber pest activity?**

**NO**

**Note:** Australian Standard **AS 4349.3-2010 Inspection of Buildings – Timber Pest Inspections** requires that the report shall record major safety hazards which result directly from the activity of timber pests and which are present and observed during the course of the inspection. The inspector's training and experience does not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

It is strongly recommended that a competent **inspection by a structural engineer, architect, building consultant or a qualified and licensed building contractor** be obtained as soon as possible to determine the extent of any damage.

**Details and description:**

No visible signs

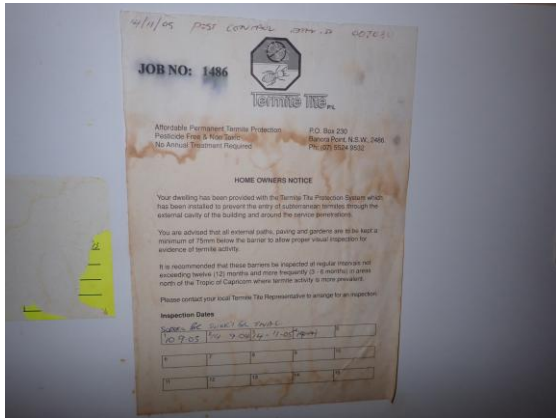


**H. FURTHER ADDITIONAL COMMENTS**

- **Future Inspections:** AS 3660.2-2017 recommends that inspections be carried out at intervals no greater than annually and that, where timber pest "pressure" is greater, this interval should be shortened. Inspections WILL NOT stop timber pest infestation; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

Due to the degree of risk of subterranean termite infestation noted above and all other findings of the report, we strongly recommend that a full inspection and written report in accord with AS 4349.3-2010 or AS 3660.2-2017 is conducted at this property every **12 MONTHS**.

- Termite Tite pre-construction termite protection system was installed to the perimeter and service penetrations of the structure. Recommend obtaining all the appropriate installation and warranty documents regarding this treatment from the vendor, as this will determine what areas are protected under this system and if there are any warranties available to the new owner. If documents cannot be obtained then contact the relevant pest control company that installed the system or builder to obtain the documents.



- It is strongly recommended to obtain all relevant documentation to any termite inspection reports for the results immediately from the vendor prior to contracts being signed.
- Please adhere to the environmental corrections listed in **section D** of this report to reduce the risk of subterranean termite attack.
- The surrounding bush land provides a natural environment for termites.

**I. IMPORTANT CUSTOMER INFORMATION**

**Disclaimer of Liability**

No liability shall be accepted on account of failure of the report to notify any termite activity and/or damage present at or to the date of the report in any area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the licensed inspector (including but not limited to any area(s) or section(s) so specified by the report).

**Disclaimer of Liability to Third Parties**

Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk.




## Standard Visual Timber Pest Detection Report Continued...

### J. INSPECTOR'S DETAILS

#### Contact The Inspector

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties or Timber Pest activity and/or damage in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification, then contact the inspector prior to acting on this report.

<b>Inspection and report was carried out by:</b>	Danny Burgess and Kane Elgey
<b>QLD PCO Licence No:</b>	4015
<b>NSW PCO Licence No:</b>	5104810
<b>Qbcc Licence No:</b>	741572
<b>Insurance Termite Accreditation No:</b>	02167
<b>Inspectors Contact Phone No:</b>	0418 714 359
<b>Signature:</b>	

**Thank you for choosing Capital Pest Management**

### TERMS, CONDITIONS and LIMITATIONS

**Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.**

**Please read the preceding report carefully, it contains important information regarding the risk of termite infestation. This inspection and report are not a preventative to any present or future infestations and does not protect your premises from wood destroying pests.**

**This is a visual inspection only** in accordance with the requirements of AS 4349.3 Inspection of Buildings Part 3: Timber Pest Inspections. Visual inspection was limited to those areas and sections of the property to which reasonable access was both available and permitted on the date of inspection. Inspection has been made in the areas where infestation is most likely to occur. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, in other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner. In an occupied property it must be understood that furnishings or household items may be concealing evidence of Timber Pests which may only be revealed when the items are moved or removed. An invasive inspection will not be performed unless a separate contract is entered into. In an occupied property it must be understood that furnishings or household items may be concealing evidence of Timber Pests that may only be revealed when the items are moved or removed. In the case of Strata type properties, such as units, flats, etc, only the interior and immediate exterior of the dwelling is inspected.

**Scope of Report:** This report is confined to reporting on the discovery, or non discovery, of infestation and/or damage caused by Subterranean termites, Damp wood termites, borers of seasoned timber and wood decay fungi (hereinafter referred to as "Timber Pests"), present at the time of the inspection. The inspection did not cover any other pests and this report does not comment on them. Dry wood termites (*Cryptotermes brevis*) Family: KALOTERMITIDAE and European house borer (*Hyloterpes bujulus* Linnaeus) were excluded from the inspection, but have been reported on if, in the course of the inspection, any visual evidence of infestation happened to be found. If any West Indian Dry Wood Termite (*Cryptotermes brevis*) or European house borer (*Hyloterpes bujulus* Linnaeus) is discovered, we are required by law to notify Government Authorities. If reported a special report may be necessary.



## Standard Visual Timber Pest Detection Report Continued...

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**Limitations:** Nothing contained in the report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by the inspector on the date of the inspection were not, or have not been, infested by timber pests. Accordingly, this report is not a guarantee that an infestation and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. Nor is it a guarantee that a future infestation of timber pests will not occur or be found.

**Determining Extent of Damage:** This report DOES NOT and CANNOT state the extent of damage. It is NOT a structural damage report. We claim no expertise in building and any inexperienced opinion we give on timber damage cannot be relied upon. The report will not state the full extent of any Timber Pest Damage. The report will state timber damage found as "Slight, Moderate, Moderate to Extensive or Extensive". This information is not the opinion of an expert. If any evidence of timber pest activity or damage is reported either in the structures or the grounds of the property, then you must assume that there may be concealed structural damage within the building(s). This concealed damage may be only be found when wall linings, cladding or insulation are removed to reveal previously concealed timbers.

An invasive Timber Pest Inspection (for which a separate contract is required) is essential and you must arrange for a qualified person such as a Builder, Engineer or Architect to carry out a structural inspection and to determine the full extent of the damage and the extent of repairs that may be required. You agree that neither we, nor the individual conducting the inspection is responsible or liable for repair or any damage weather disclosed by this Report or not.

**Mould:** Mildew and non wood decay fungi is commonly known as Mould and is not considered a Timber Pest. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided. Should any evidence of Mould happen to be noticed during the inspection, it will be noted in the Further Additional Comments (H) section on this report. If Mould is noted as present within the property and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

**Consumer Complaints Procedure:** In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty-eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty-one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of the Arbitrator, will proceed in the following manner:

- (a) The parties must submit all written submissions and evidence to the Arbitrator within twenty-one (21) days of the appointment of the Arbitrator; and
- (b) The arbitration will be held within twenty-one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty-one (21) days of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid and settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty-one (21) days of the order.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

**Disclaimer of Liability to Third Parties:** Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself.

**Note:** In the ACT under the Civil Law (Sale of Residential Property) Act2003 and Regulations the report resulting from this inspection may be passed to the purchaser as part of the sale process providing it is carried out not more than three months prior to listing and is not more than six months old.

### **Important Maintenance Advice Regarding Integrated Pest Management For Protecting Against Timber Pests:**

**Any structure can be attacked by Timber Pests.** Periodic maintenance should include measures to minimise possibilities of infestation in and around a property. Factors which may lead to infestation from Timber Pests include situations where the edge of the concrete slab is covered by soil or garden debris, filled areas, areas with less than 400mm clearance, foam insulation at foundations, earth/ wood contact, damp areas, leaking pipes, etc., form-work timbers, scrap timber, tree stumps, mulch, tree branches touching the structure, wood rot, etc. Gardens, pathways or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by timber pests. Any timber in contact with soil such as formwork, scrap timbers or stumps must be removed from under and around the buildings and any leaks repaired. You should endeavour to ensure such conditions **DO NOT** occur around your property.

We further advise that you engage a professional pest control firm to provide a termite management program in accord with AS 3660 to minimise the risk of termite attack. There is no way of preventing termite attack. Even AS 3660 advises that when a complete termite management system is installed in accordance with AS 3660.1-2014 for pre-construction termite work or 3660.2-2017 for post construction termite work and the Australian Pesticides and Veterinary Medicines Authority (APVMA) product label directions are followed precisely, termites may still bridge the management system. However, if the labels directions are followed and the Standard adhere to, and bridging occurs, evidence of the termite ingress will normally be evident to the inspector. Therefore, regular inspections in line with the recommendations in this report are essential in addition to any suitable termite management system you install.

You should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pests. This information forms an integral part of the report.

### **Important Limitations for Safe and Reasonable Access**

Only areas where reasonable access was available were inspected. AS 4349.3 defines reasonable access and states that access will not be available where there are safety concerns, or obstructions, or the space available is less than the following:

**Roof Void** – the dimensions of the access hole must be at least 500mm x 400mm, and, reachable by a 3.6M ladder, and there is at least 600mm x 600mm of space to crawl;

**Roof Exterior** – must be accessible by a 3.6M ladder placed safely on the ground.

**Subfloor** – Access is normally not available where dimensions are less than 500mm x 400mm for the access hole and less than 400mm of crawl space beneath the lowest bearer, or, less than 500mm beneath the lowest part of any concrete floor;

The inspector shall determine whether sufficient space is available to allow safe access to confined areas.

Reasonable access does not include the use of destructive or invasive inspection methods. Nor does reasonable access include cutting or making access traps or moving heavy furniture or stored goods.

### **A More Invasive Physical Inspection is Available and Recommended**

As detailed above, there are many limitations to this visual inspection only. With the permission of the owner of the premises we WILL perform a more invasive physical inspection that involves moving or lifting insulation, stored items, furniture or foliage during the inspection. We WILL physically touch, tap, test and when necessary force/ gouge suspected accessible timbers. We WILL gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days notice. Inspection time for this style of report will be greater than for a VISUAL INSPECTION. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner, who must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. A price is available on request.

### **Concrete Slab Homes**

Buildings constructed on concrete slabs pose special problems with respect to termite attack. If the edge of the slab is concealed by concrete paths, patios, pavers, garden beds, lawns, foliage, etc., then it is possible for termites to affect concealed entry into the structure. They can then cause extensive damage to concealed framing timbers. Even the most experienced inspector may be unable to detect their presence due to concealment by wall linings. Only when the termites attack timbers that are visible and accessible can their presence be detected. When termite damage is located in the roof it should be expected that concealed framing timbers will be extensively damaged. With concrete slab structures it is imperative that you expose the edge of the slab and ensure that foliage and garden beds do not cover the slab edge. Weep holes in external masonry walls must be kept clean, clear and visible at all times. It is strongly recommended that you ensure all buildings are protected by an approved current Termite protection barrier system and you have a Termite inspection in accordance with AS 3660.2 carried out at least every 6 months. Please contact the inspector to arrange this.

### **Subterranean Termites**

**No property is safe from termites!** Termites are the cause of the greatest economic losses of timber in service in Australia. Independent data compiled by State Forestry shows 1 in every 5 homes is attacked by termites at some stage in its life. More recent data would indicate that this is now as high as 1 in every 3. Australia's subterranean termite species (white ants) are the most destructive timber pests in the world. In fact, it can take "as little as 3 months for a termite colony to severely damage almost all the timber in a home".

**How Termites Attack your Home:** The most destructive species live in large underground nests containing several million timber destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 metres to enter your home, where there is a smorgasbord of timber to feast upon. Even concrete slabs do not act as barrier; they can penetrate through cracks in the slab to gain access to your home. They even build mud tubes to gain access to above ground timbers. In rare cases termites may create their nest in the cavity wall of the property without making ground contact. In these cases, it may be impossible to determine their presence until extensive timber damage occurs.

**Termite Damage:** Once in contact with the timber they excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and cost two to five thousand dollars (or more) to treat.

**Subterranean Termite Ecology:** These termites are social insects usually living in underground nests. Nests may be in trees or in rare instances they may be in above ground areas within the property. They tunnel underground to enter the building and then remain hidden within the timber making it very difficult to locate them. Where timbers are concealed, as in most modern homes, it makes it even more difficult to locate their presence. Especially if gardens have been built up around the home and termite barriers are either not in place or poorly maintained. Termites form nests in all sorts of locations and they are usually not visible. There may be more than one nest on a property. The diet of termites in the natural environment is the various hardwood and softwood species growing throughout Australia. These same timbers are used in buildings. Worker termites move out from their underground nest into surrounding areas where they obtain food and return to nurture the other casts of termites within the nest. Termites are extremely sensitive to temperature, humidity and light and hence cannot move over ground like most insects. They travel in mud-encrusted tunnels to the source of food. Detection of termites is usually by locating these mud tunnels rising from the ground into the affected structure. This takes an expert eye.

**Termite barriers protect a building by forcing termites to show themselves.** Termites can build mud tunnels around termite barriers to reach the timber above. The presence of termite tracks or leads does not necessarily mean that termites have entered the timber though. A clear view of walls and piers and easy access to the sub-floor means that detection should be fairly easy. However, many styles of construction do not lend themselves to ready detection of termites. The design of some properties is such that they make the detection by a pest inspector difficult, if not impossible.

The tapping and probing of walls and internal timbers is an adjunct or additional means of detection of termites but is not as reliable as locating tracks. The use of a moisture meter is a useful aid for determining the presence of termites concealed behind thin wall panels, but it only detects high levels of activity. Older damage that has dried out will not be recorded. It may also provide false readings. Termite tracks may be present in the ceiling space however some roofs of a low pitch and with the presence of sisalation, insulation, air conditioning ductwork and hot water services may prevent a full inspection of the timbers in these areas. Therefore, since foolproof and absolute certain detection is not possible the use of protective barriers and regular inspections is a necessary step in protecting timbers from termite attack.

### **Borers of Seasoned Timbers**

**Borers are the larvae of various species of beetles.** The adult beetles lay their eggs within the timber. The eggs hatch out into larvae (grubs) which bore through the timber and can cause significant structural damage. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupal stage. Within the pupal case they metamorphose (change) into the adult beetle which cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes, and the frass formed when the beetles cut the exit holes that their presence can be detected. Where floors are covered by carpets, tiling, or other floor coverings and where no access to the underfloor area is available it is not possible to determine whether borers are present or not. This is particularly the case with the upper floors of a dwelling.

**Borers of "green" unseasoned timber may also be present.** However, these species will naturally die out as the timbers dry out in service. Whilst some emergence holes may occur in a new property it would be unusual for such a borer to cause structural damage, though the exit holes may be unsightly.

**Anobium Borer (Furniture Beetle) and Queensland Pine Borer.** These beetles are responsible for instances of flooring collapse, often triggered by a heavy object being placed on the floor (or a person stepping on the affected area!) Pine timbers are favoured by this beetle and, while the sapwood is preferred, the heartwood is also sometimes attacked. Attack by this beetle is usually observed in timbers that have been in service for 10-20 years or more and mostly involves flooring and timber wall panelling. The *frass* from the flight holes (faeces and chewed wood) is fine and gritty. Wood attacked by these borers is often honeycombed.

**Lyctus Borer (Powder Post Beetle).** These borers only attack the sapwood of certain susceptible species of hardwood timber. Since it is a requirement that structural timbers contain no more than 25% Lyctus susceptible sapwood these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended, and treatment is not approved. Where decorative timbers are affected the emergence holes may be considered unsightly in which case timber replacement is the only option. Powder post beetles mostly attack during the first 6-12 months of service life of timber. As only the sapwood is destroyed, larger dimensional timbers (such as rafters, bearers and joists) in a house are seldom weakened significantly to cause collapse. In small dimensional timbers (such as tiling and ceiling battens) the sapwood may be extensive, and its destruction may result in collapse. Replacement of these timbers is the only option available.

### Timber Decay Fungi

The fruiting bodies of wood decay fungi vary in size, shape and colour. The type of fungi encountered by pest controllers usually reside in poorly ventilated subfloors, below wet areas of the home, exterior timbers and in areas that retain water in the soil. The durability and type of timbers are factors along with the temperature and environment. Destruction of affected timbers varies with the symptoms involved. Removal of the moisture source usually alleviates the problem. Fungal decay is attractive to termites and if the problem is not rectified it may well lead to future termite attack.

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STRONG**

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